

J. Maurin

HOME INSPECTION INC.

PO Box 241
Glen Ellyn, IL 60138
630-240-1973



Site Location:
1234 Sample Lane
Your Town, Illinois 60000

Client:
Home Buyer

Inspection Date: ASAP

Job Number: 1234 Sample Lane

WHAT YOU CAN EXPECT FROM THIS INSPECTION REPORT

The inspection is a reasonable effort to disclose the condition of the property on the day of inspection. The inspection does not reveal information on concealed items or items the inspector is unable to inspect. The inspectors are generalists trained to evaluate the structure.

On the following pages you will be provided with all the inspector's findings. Each category will contain what type of system or structure was inspected and if there were any major or minor concerns noted.

A major concern is generally considered to be any repair that is significant and or poses a safety hazard.

When items are rated the categories are as follows: Acceptable (A) ratings should give satisfactory service within the limits of its age. A Minor Defect (MD) is generally cosmetic and repair is optional. A Marginal (M) rating is considered less than satisfactory and may need repair soon. A Defective (D) rating requires repair, replacement or corrective action. **A Hazardous (H) rating is a dangerous situation and requires immediate attention.** Maintenance Required (MR) is considered normal upkeep.

The inspector will often make recommendations to repair or upgrade specific items or systems. (e.g. upgrade bathroom or kitchen receptacles to ground fault interrupter receptacles.) These recommendations are often intended to improve a system or item with newer products and technologies.

All of the inspector's findings are approximations and not a definitive answer. It is impossible to predict exactly how long a system will last. Any estimate of cost to repair is an approximation for budgetary purposes only. Consult a qualified contractor for an exact estimate.

Before each category in the report there is a brief description of what is included in the inspection of that category. e.g. The exterior category contains items such as: windows, doors and trim. Check each description prior to reviewing the findings.

We have made every effort to make this report as comprehensive as possible. If you do not understand any part of this report, please do not hesitate to call our office at 630-240-1973.

John J. Maurin

John J. Maurin
President
J.Maurin Home Inspection, Inc.

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Exterior

The following opinion is based on an inspection of the visible portion of the exterior of the structure. If any conditions are listed, a qualified contractor should correct them.

ACCESS: This section describes the aspects, which limit the inspection (if any). If any restrictions are noted throughout the report, reinspection may be needed after overcoming the restrictions.

Access: Typical
Rating: Acceptable

LANDSCAPING: Landscaping is inspected only to the degree that it affects the condition of the structure. Examples would be drainage, intruding vegetation, etc.

Site: Sloping
Rating: Acceptable

Vegetation: Trees, Shrubs
Conditions: **Overhanging branches** --- Overhanging tree branches are too close to the roof. Air circulation and sunlight help prevent deterioration of roof components. Recommend branches be trimmed back to alleviate this condition.



Rating: Maintenance Required

Improvements: Retaining Wall
Rating: Acceptable

PAVED AREAS: This category includes steps and/or stoops, sidewalks, walkways, and/or driveways.

Sidewalks: Asphalt, Concrete
Rating: Minor Defect

Steps: Masonry Stoop
Rating: Acceptable

Driveway: Asphalt
Conditions: **Erosion noted** --- Soil erosion was noted and may need to be corrected.



Rating: Maintenance Required

SIDING/TRIM: Siding refers to the material forming the exterior walls. Masonry construction can perform structural as well as siding functions.

Siding: Wood Siding
Rating: Acceptable

Trim: Wood
Conditions: **Wet rot** --- Wet Rot is the decay of wood in the presence of moisture and warmth, as a result of attack by fungi. This condition attracts insects. Eliminate the source of moisture then repair affected area.
Location: throughout





Rating: Maintenance Required

PORCH/DECK:

Porches, decks and patios add value and enjoyment. Because they are exposed to the weather, they are also higher maintenance items than other portions of the structure.

Porch:

Open

Conditions:

Dry rot --- Dry rot is decomposition in seasoned wood caused by fungi. Recommend repair of affected area as needed.



Rating: Defective

Patio:
Conditions:

Concrete
Buckling --- Buckling was observed. This is caused by too much material in too little space. Either the material has swollen or the space for it has decreased. Determine the underlying cause before making repair.



Rating: Defective

WINDOWS:

Windows are an important part of the structure, gaining and losing more heat than any other element.

Type: Wood
Rating: Acceptable

Glazing: Single Glass, Insulated Glass
Rating: Maintenance Required

Storms: Metal
Rating: Acceptable

Shutters: Vinyl
Rating: Acceptable

DOORS:

Doors are inspected for functionality and condition. The degree of protection from people or weather is a matter of personal decision.

Entry: Metal
Rating: Acceptable

Storm Door: Vinyl
Conditions: **Physical damage** --- Physical damage was noted and should be repaired.
Location: Door would not close properly



GARAGE:

Standard inspections cover only attached garages and carports. They are not considered habitable, and conditions are reported accordingly.

Garage:
Conditions:

Detached Garage
Roof cupping ---



Cars:

2

Doors:

Metal

Rating:

Acceptable

Opener:

Automatic

Conditions:

No electric eye device ---

Rating:

Hazardous

Roof

This report is made on the basis of what was visible and accessible on the day of inspection. It is not a warranty of the roof system or of how long it may be watertight. If any conditions are listed, a qualified contractor should correct them.

ACCESS: This section describes the limitations for access to the roof (if any). If severely limited, a reinspection should be performed once the restrictions have been removed or overcome.

Access: Typical
Rating: Acceptable

STYLE: The predominant roof style of the structure.

Type: Hip
Rating: Acceptable

COVERING: Covering material is partially a matter of taste, but performs the vital function of keeping water out of the structure. The life of roofing material can vary greatly depending on geographic area and estimates of remaining life (if given) are ESTIMATES.

Material: Asphalt Shingle
Rating: Acceptable

SEEN FROM: This section describes the method the inspector used to examine the roof and obviously affect the ability to observe any conditions.

Method: Binoculars, Ground, Eaves
Rating: Acceptable

OVERHANG: Overhang describes soffits and fascia. This area is important for proper ventilation of the roof and water removal.

Fascia: Wood
Rating: Maintenance Required

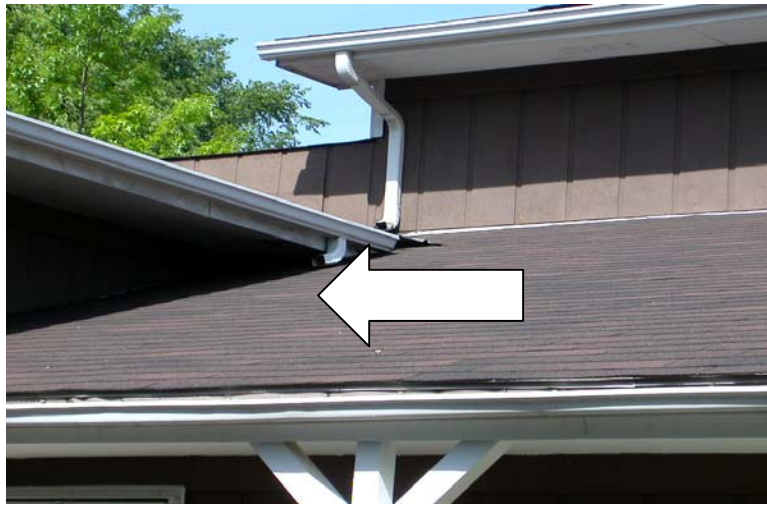
Soffits: Wood
Conditions: **Vents to Soffit ---**
Location: Additional venting in soffit would help the attic vent and extend the life of the roof

FLASHING: Flashing is the material used to seal the junction of the main roof material and items such as chimneys or vents. It is also used where roof sections join (valleys). This is the most common area for leaks to occur.

Type: Metal

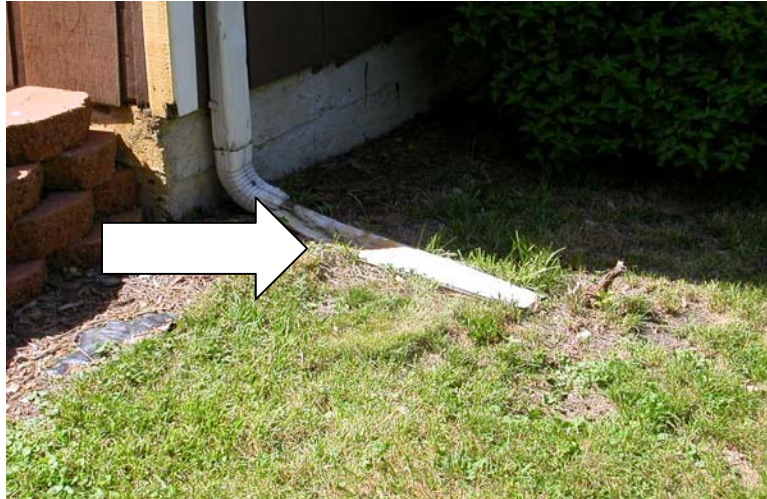
DRAINAGE: This section covers the items used to move the water shed by the roof away from the structure. Water falling too close to the foundation can cause undermining, settlement and leaks into the structure if present.

Type: Metal
Conditions: **Need cleaning ---** Gutters appear to need cleaning. Water could back up and cause damage if not corrected.
Gutter Extension ---



Rating: Maintenance Required

Down Spouts: Metal
Conditions: **Discharge near foundation** --- Downspout is discharging close to the foundation. This may cause water into the building. It is recommended that all downspouts be extended 3 to 4 feet from the foundation.



Rating: Maintenance Required

VENTILATION: The types and condition of attic ventilation is covered in this section. Proper ventilation is important for maximum life of the roof covering and framing materials.

Type: Ridge
Conditions: **Minimal ventilation** --- Ventilation appears to be minimal. Additional ventilation may be need to be installed to help prevent moisture and condensation problems. Correct as needed.
Rating: Minor Defect

FLUES/VENTS: Flues are used to vent gases and heat from heating devices and vents are used to vent the plumbing system to atmosphere. This section describes any damage or problems at the roof level.

Chimney: Metal
Rating: Acceptable

Plumbing: Galvanized
Rating: Acceptable

Structure

This inspection is based on observation of the visible portions of the foundation and structure. If any conditions are listed, a qualified contractor should correct them.

ACCESS: This section describes the restrictions (if any) to the inspection of the foundation. If severe restrictions existed, they should be overcome and a reinspection performed.

Access: Typical
Rating: Acceptable

FOUNDATION: This is the support for the primary part of the structure. Therefore, it is very important that the proper material be used and installed. Ventilation is important in order to avoid excessive moisture and resulting structural damage.

Type: Bi-level
Rating: Acceptable

Materials: Concrete
Rating: Acceptable

FLOORS: This section covers the floors, primarily in the areas of support and construction. Floor coverings are discussed in other sections.

Joist: Solid Wood

Beam: Built-up wood
Rating: Acceptable

Sub Floor: Plywood
Rating: Acceptable

Column: Steel
Rating: Acceptable

INSULATION: Floor and wall insulation is examined where visible.

Walls: Fiberglass
Rating: Acceptable

WALLS: This section reports on the exterior walls of the building above the foundation and the bulkhead (if any).

Exterior: Frame
Rating: Acceptable

Electrical

The following opinion is based on an inspection of the visible portion of the electrical system. If any conditions are listed, a qualified electrician should correct them.

ACCESS: This section describes the limitations (if any) of the electrical inspection.

Access: Typical
Rating: Acceptable

SERVICE: Exterior service up to and including the meter may be the responsibility of the local power company. If any problems are noted, contact them for repairs or questions.

Type: Overhead
Rating: Acceptable

Entrance Mat: Copper Clad
Rating: Acceptable

Ground: Driven rod
Rating: Acceptable

Bond: Bonding Strap
Rating: Acceptable

Amps: 100

MAIN PANEL: This is the main power supply panel. Become familiar with its location and study the circuit location markings if any.

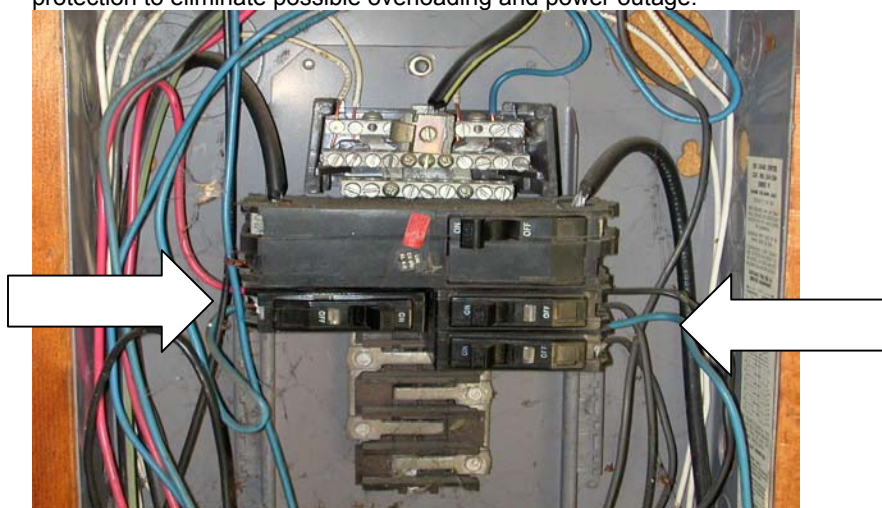
Type: Breaker
Rating: Acceptable

Location: Basement

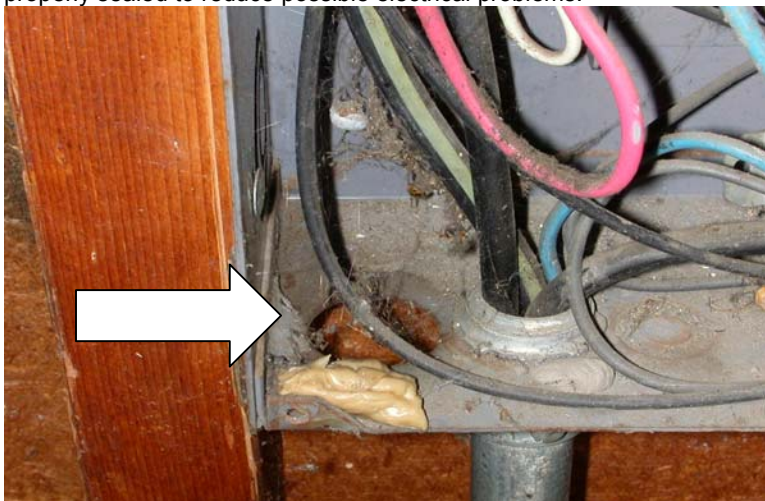
Amp Rating: 100

SUB PANEL: Auxiliary or subpanels are used to extend the system or provide a protected power source near large appliances or equipment. Use the same caution as with the main panel.

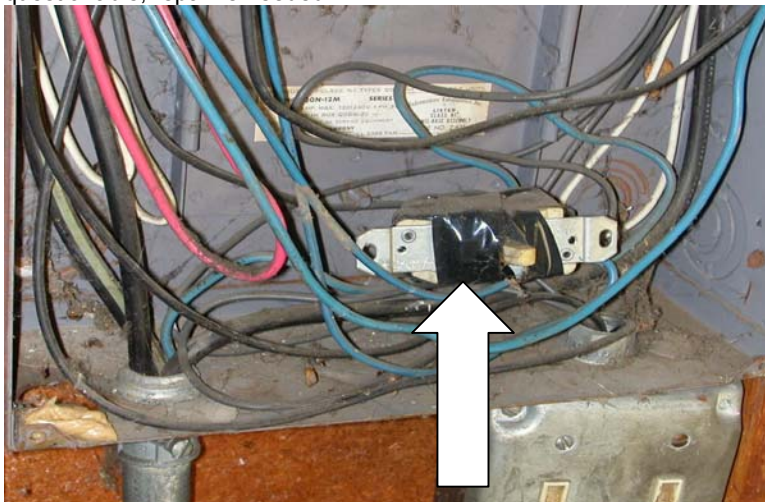
Type:
Conditions: **Double tap ---** Some circuits in the panel are double lugged. (they have more than one electrical conductor attached to them) These circuits should be separated with individual protection to eliminate possible overloading and power outage.



Open knockout --- Knockouts are open in the service panel. All knockouts should be properly sealed to reduce possible electrical problems.



Improper splice --- Improper splicing was noted. Electrical continuity could be questionable, repair is needed.



Rating:

Hazardous

INTERIOR COMP: The inspection covers a representative number of components. The National Electrical Code has extensive regulations concerning interior wiring. If you have any doubt about the system, have it thoroughly inspected by a qualified electrician.

Receptacles:

Conditions: **Open ground** --- Receptacle indicates an open ground and should be corrected.



Rating: **Hazardous**

Fixtures: Florescent
Rating: Acceptable

Closet Lights:

Conditions: **Exposed closet light** --- Exposed incandescent light is in closet. Surface mounted incandescent closet lights should be installed with a minimum clearance of 12" between the fixture lamp and the nearest point of storage area. This should be corrected.

Location: throughout
Rating: Minor Defect

GFI:

Conditions: **GFCI ok** --- Using a ground fault interrupter (G.F.I.) tester, receptacles checked, indicated a properly functioning G.F.I.

Rating: Acceptable

Detector:

Conditions: **Smoke detector broken** --- A smoke detector was broken or inoperable. Replace immediately. These are life saving devices and are required by building codes.
Location: In Hallway by bedrooms

Rating: **Hazardous**

EXTERIOR COMP: Exterior components add convenience but have additional hazards because of the presence of water.

Receptacles:

Conditions: **GFCI needed** --- The inspector suggests a GFCI for this location to reduce the risk of shock. These Ground Fault Current Interrupters are relatively inexpensive.

Rating: Minor Defect

Plumbing

The standard inspection report does not include the testing of water salinity, quality or volume of any well supply. Only interior waste systems are inspected. If any conditions are listed, a qualified plumber should repair them.

ACCESS:	This section covers restrictions (if any) to the inspection of the plumbing system. If restricted be sure to have plumbing checked when reactivated.
Access:	Restricted
Rating:	Acceptable
WASTE/WATER:	This section describes the type of water supply and waste system for the structure.
Waste Type:	Community
Rating:	Acceptable
Water Type:	Community
Rating:	Acceptable
MAIN SUPPLY:	This section covers the type and material of the main water supply. Learn where your shutoff valve is! If a supply line ruptures, extensive water damage can occur rapidly.
Material:	Copper
Rating:	Acceptable
Shutoff:	Crawlspace
Rating:	Acceptable
Size:	1"
SUPPLY PIPING:	This is the potable water used for drinking and cooking needs.
Piping Mat:	Copper
Rating:	Acceptable
WASTE PIPING:	This is the waste disposed of from toilets, sinks and other plumbing fixtures.
Piping Material:	Plastic
HOT WATER:	The hot water supply system is inspected where visible. Interior heating elements (if any) are not examined.
Type:	Gas
Rating:	Acceptable
Size:	50
Rating:	Acceptable
Misc.:	
Age:	5 to 10 yrs
Rating:	Acceptable

Heating

The heating system is one of the most important areas in the structure. Improper maintenance may cause uncomfortable heat and fuel bills can be excessively high. If any conditions are listed, a qualified heat technician should correct them.

ACCESS: This section describes the restrictions (if any) to the inspection of the heating system.

Access: Restricted
Rating: Acceptable

SERVICE: All heating equipment should be serviced annually.

Location: Basement
Rating: Acceptable

Age: 5 to 10 yrs
Rating: Acceptable

WARM AIR: Warm air systems heat air and distribute it to the living space via ductwork. These systems include gas and oil furnaces as well as heat pumps.

Furnace: Forced Air
Rating: Acceptable

Duct: Metal
Rating: Acceptable

Filters: Washable
Rating: Acceptable

THERMOSTAT: This section reports the type and condition of the thermostat for the primary heating system of the structure.

Type: Programmable
Rating: Acceptable

Location: Living Room
Rating: Acceptable

A/C

The inspector examines only central or built in air conditioners. Window units are personal property. If any conditions are listed, a qualified technician should correct them.

ACCESS: This section describes the limitations (if any) of the air conditioning inspection.

Access: Typical
Rating: Acceptable

UNIT TYPE: Performance of different air conditioner types varies greatly. Observations are based on comparable units of the same type.

Type: Central
Conditions: **AC ok** --- Turned down thermostat, system started and was functional.
Rating: Acceptable

THERMOSTAT: Inspection is made of the primary air conditioning thermostat. If more than one, the observations are for typical condition.

Type: Programmable
Rating: Acceptable

Location: Living Room
Rating: Acceptable

DUCTS: Ducts are the air conductors and are often used commonly by heating and air conditioning.

Type: Metal
Rating: Acceptable

Filters: Washable
Rating: Acceptable

SPECS: Air conditioning specifications are listed in this section.

Manufacturer: American Standard Model # 2A7A1036A1000AA

EVAP COOLER: This section describes evaporative coolers. These systems are common in very dry parts of the country.

Pad Holders: Concrete
Rating: Acceptable

Kitchen

If any conditions are listed in this section, a qualified contractor should correct them.

ACCESS:	This section covers restrictions (if any) to the kitchen inspection.
Access:	Typical
Rating:	Acceptable
EXHAUST FAN:	This section describes the type and function of the kitchen exhaust in use.
Type:	Above Range
Rating:	Acceptable
FLOORING:	The type of floor covering is noted. Normal wear and tear or cosmetic deficiencies are not noted unless significant.
Type:	Sheet vinyl
Rating:	Acceptable
CABINETS:	The proper amount of cabinets is a matter of personal taste. This inspection is restricted to their overall condition and installation.
Material:	Wood
Rating:	Acceptable
COUNTERTOP:	Overall condition and type of countertop(s) are noted in this section.
Material:	Laminate
Rating:	Acceptable
APPLIANCES:	Appliances are covered in this section with respects to functionality only.
Range:	Gas
Conditions:	Handles Missing ---
Rating:	Location: Unable to test burners Marginal
Oven:	Gas
Comments:	Items in stove unable to test
Rating:	Marginal
Refrigerator:	Single Door
Rating:	Acceptable
Dishwasher:	Built-in
Rating:	Acceptable
Microwave:	Above Range
Rating:	Acceptable
FIXTURES:	The type and condition of the kitchen fixtures is reported in this section.
Sink:	Double bowl sink
Rating:	Acceptable
LAUNDRY:	Laundry items are inspected if present.
Washer:	Electric
Rating:	Acceptable
Dryer:	Gas
Rating:	Acceptable

Bath

If any conditions are listed, a qualified professional should correct them.

ACCESS: This section notes limitations (if any) to inspection of the baths. The most common are water being off and blocked access.

Access: Typical
Rating: Acceptable

BATH 1/2: BASEMENT

Fixtures: Vanity
Conditions: **Stopper missing** --- Stopper was missing in fixture.
Rating: Maintenance Required

Ventilation: None
Conditions: **No ventilation** --- No ventilation was noted. Adequate air circulation is very important to help prevent rot and should be installed.
Rating: Minor Defect

Toilet: Water tank type
Rating: Acceptable

Floor: Carpet
Rating: Acceptable

BATH 1: SECOND FLOOR

Tub/Shower: Tub, Shower
Conditions: **Physical damage** --- Physical damage was noted and should be repaired.



Rating: Defective

Fixtures: Vanity
Rating: Acceptable

Ventilation: None
Conditions: **No ventilation** --- No ventilation was noted. Adequate air circulation is very important to help prevent rot and should be installed.
Rating: Minor Defect

Toilet: Water tank type
Rating: Acceptable

Floor: Ceramic tile
Conditions: **Physical damage** --- Physical damage was noted and should be repaired.



Rating: Minor Defect

BATH 2: MASTER BATH

Tub/Shower: Tub, Shower
Conditions: **Loose shower head** --- The shower head is loose and should be repaired.



Rating: Minor Defect

Fixtures: Vanity
Rating: Acceptable

Ventilation: Fan
Rating: Acceptable

Toilet: Water tank type
Rating: Acceptable

Floor: Sheet vinyl
Rating: Acceptable

Interior

Cosmetic deficiencies may not be reported on unless they have an impact on habitation or have caused structural damage. If any conditions are listed, a qualified contractor should be consulted.

ACCESS: This section covers restrictions, (if any) to the inspection of the interior. Most common problems are lack of access because of personal property in the way or recent remodeling which may have covered previous flaws.

Access: Typical
Rating: Acceptable

FLOORS: Floor covering types and conditions are reported, if other than cosmetic. For example, loose floor covering can be a tripping hazard.

Type: Carpet, Ceramic tile, Linoleum, Rugs
Rating: Acceptable

WALLS: The type, material and integrity of the interior walls are reported on a representative basis only.

Type: Drywall
Rating: Acceptable

CEILINGS: The type, material and integrity of the ceilings are reported on a representative basis only.

Type: Drywall
Conditions: **Nail pop ---** Nail popping was observed. These are bulges caused by nails or screws backing out. The cure varies with the material and sub surface.
Rating: Maintenance Required

DOORS: The interior doors are reported on a representative basis.

Type: Hollow
Rating: Acceptable

TRIM/HARDWARE: Trim and hardware are inspected on a representative basis. Lack of hardware is normally only noted if it presents a safety problem such as the inability to easily open a door in case of emergency.

Trim: Stained Woodwork, Painted
Rating: Acceptable

RAILS/STAIRS: Rails and Stairs are inspected in this section. Loose or missing stairs or rails can be hazardous.

Rails: Hand rails
Rating: Acceptable

Stairs: Stone
Rating: Acceptable

ATTIC: The attic is inspected (if possible) for roof support structure, and insulation. Although the attic insulation may be acceptable, the greater the insulating value along with proper attic ventilation and moisture control will lessen the chance of ice dams.

Roof Framing: Rafters
Rating: Acceptable

Sheathing: Plywood
Rating: Acceptable

Insulation Type: Fiberglass

Rating: Acceptable

Depth/R Value:

Depth/R Value: 6"
Rating: Acceptable

Summary

Exterior

PAVED AREAS

Sidewalks

Asphalt

Concrete

Minor Defect

PORCH/DECK

Porch

Open

Condition: Dry rot

Defective

Patio

Concrete

Condition: Buckling

Defective

GARAGE

Opener

Automatic

Condition: No electric eye device

Hazardous

Roof

VENTILATION

Type

Ridge

Condition: Minimal ventilation

Minor Defect

Electrical

SUB PANEL

Type

Condition: Double tap

Condition: Open knockout

Condition: Improper splice

Hazardous

INTERIOR COMP

Receptacles

Condition: Open ground

Hazardous

Closet Lights

Condition: Exposed closet light

Location: throughout

Minor Defect

Detector

Condition: Smoke detector broken

Location: In Hallway by bedrooms

Hazardous

EXTERIOR COMP

Receptacles

Condition: GFCI needed

Minor Defect

Bath

BATH ½ BASEMENT

Ventilation

None

Condition: No ventilation

Minor Defect

BATH 1 SECOND FLOOR

Tub/Shower

Tub

Shower

Condition: Physical damage

Defective

Ventilation

None

Condition: No ventilation

Minor Defect

Floor

Ceramic tile

Condition: Physical damage

Minor Defect

BATH 2 MASTER BATH

Tub/Shower

Tub

Shower

Condition: Loose shower head

Minor Defect

